

**INSTRUMENT TO RECORD BUILDER GUIDELINES  
CEDAR WOODS**

*14729-FD-MG128*

This Instrument is being recorded by Cedar Woods Community Association, a Texas nonprofit corporation (the "Association") pursuant to Section 202.006 of the Texas Property Code.

Section 202.006 of the Texas Property Code requires a property owners' association to record each dedicatory instrument in the real property records of the County in which the property to which the dedicatory instrument relates is located, if such instrument has not previously been recorded; and

Restrictive covenants and other matters concerning the Subdivision are set forth in Declaration previously recorded as follows:

Declaration of Covenants, Conditions, and Restrictions for Cedar Woods recorded under Montgomery County Clerk's File No. 2013123090 of the Official Records of Real Property for Montgomery County, Texas and any recorded amendments thereto.

The Association is now subject to the following dedicatory instrument to-wit:

**BUILDER GUIDELINES FOR NEW RESIDENTIAL CONSTRUCTION  
December 2013**

Any and all previously issued builder guidelines are rescinded and withdrawn and are replaced with the builder guidelines referenced above.

Pursuant to Section 202.006 of the Texas Property Code, the Association does hereby record such additional dedicatory instruments, copies of which are attached hereto in the order set forth hereinabove.

This instrument supersedes any recorded prior instrument.

Executed on the 30<sup>th</sup> day of Dec, 2013.

CEDAR WOODS COMMUNITY ASSOCIATION INC.

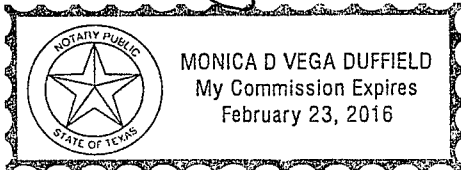
By: *Sawyer Blackburn*  
Sawyer Blackburn, President

THE STATE OF TEXAS     §  
  §  
COUNTY OF MONTGOMERY §

This instrument was acknowledged before me on December 30, 2013, by Sawyer Blackburn, President of Cedar Woods Community Association

*Monica D. Vega Duffield*  
Notary Public, State of Texas

**WHEN RECORDED, RETURN TO:**  
Friendswood Development Company  
550 Greens Parkway, Suite 100  
Houston, TX ~~77067~~ *77067*  
Attn: Monica Vega-Duffield



*CEDAR WOODS* 

*CW*

**BUILDER GUIDELINES FOR  
NEW RESIDENTIAL CONSTRUCTION**

**THIS DOCUMENT IS BEING RERECORDED SOLELY TO INCLUDE PAGE 5,  
WHICH WAS INADVERTENTLY LEFT BLANK. ALL ELSE REMAINS THE SAME.**

**December 2013**

# CEDAR WOODS

## BUILDER GUIDELINES FOR NEW RESIDENTIAL CONSTRUCTION

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# CEDAR WOODS

## BUILDER GUIDELINES FOR NEW RESIDENTIAL CONSTRUCTION

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### I. AREAS OF APPLICATION; ARCHITECTURAL REVIEW PROCEDURES

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#### A. Areas of Application

These Builder Guidelines ("Guidelines") outline design goals, design criteria and the design review process for new home construction in Cedar Woods, developed by Lennar Homes Land and Construction, Ltd., through Friendswood Development Company (hereinafter "Developer" and "Declarant"). These Guidelines are applicable all sections of Cedar Woods unless noted in the Guidelines. A Builder's Lot Purchase Agreement (the "Sales Contract") with Developer will determine what submission procedures and Guidelines apply.

All new home construction be must reviewed and approved by the Architectural Review Committee (the "ARC") appointed by Declarant prior to commencement of any building or construction activity. This approval can be secured in a timely fashion if applicable criteria specified in Sections II, III and V of this guide are met to the satisfaction of the ARC.

New home construction must conform to these Guidelines, to the Declaration of Covenants Conditions and Restrictions (the "Declaration"), to Sales Contract provisions; and to state and local building codes, zoning ordinances, or other governmental regulations (collectively "the Applicable Codes"). If provisions of these Guidelines are more restrictive than the Declaration, the Sales Contract or the Applicable Codes, the provisions of these Guidelines apply. If these Guidelines conflict with the Declaration, Sales Contract, or Applicable Codes; the provisions of the Declaration, Sales Contract or Applicable Codes apply. These Guidelines may be amended by addition, deletion, or re-issuance at any time by Declarant without consent of the Members.

Subsequent construction, exterior remodeling and/or expansion, and items not covered in these Builder Guidelines will be reviewed and approved by the ARC in accordance with the *Cedar Woods Residential Improvement Guidelines For Homeowners* ("Homeowner Guidelines") published and promulgated by the ARC.

#### B. Architectural Review Procedures

The design for each home must be approved in writing by the ARC before construction of the home may begin. Any deviation from approved plans during construction, without the ARC's written approval, constitutes a violation. Corrections of such deviations may be required. Notice of approval shall be in the form of a letter from the ARC to the party submitting the plans. Copies of approved plans and approval letters will be kept on file by the ARC until completion of the development section. The ARC will review submissions and make every effort to give notice of approval or disapproval within five (5) working days following receipt and review of submissions.

The ARC meets as necessary to review design submittals. The Developer's Residential ARC Administrator will screen all submittals before calling a meeting of the ARC. The ARC will only review completed submittals. All drawings must be accurate enough to be scaled reliably. Faxed materials will be accepted for preliminary home design and plot plan approvals. Any variances, however, must be requested and granted in writing. Faxes will not be accepted in place of normal submission procedures. Submittals shall be sent to:

Residential ARC Administrator  
Friendswood Development Company  
550 Greens Parkway, Suite 100  
Houston, TX 77067

Only complete submittals will be reviewed. All drawings shall be drawn to scale. Faxed materials will be accepted for preliminary home design and plot plan change approvals only. Deviations must be requested in writing.

- Plan Design: The ARC requires one set of the following for production home plan submittals
  - Floor Plans on 11" x 17" sheets.
  - Front Elevations on 11" x 17" sheets; all elevations must be shown and must include: notation of locations of all exterior wall materials, notation of roof materials, notation of window types.
  - Upon approval of a production home floor plan and series of elevations, only site/plot plan approvals are required for each home.
- Site/Plot Plan: If required in the Builder's Agreement, the design for each Site/Plot Plan must be approved in writing before construction of the residence can begin. Submittal must depict:
  - Locations, dimensions, and materials notations for walkways, driveway, patios, and all other exterior flatwork, including setbacks, easements, and building lines.
  - Lot coverage calculation, including the total area of all footprint areas of impervious cover as listed below, including all building foundations, walks, sidewalks, patios and driveways.
  - Proposed location, height, and material of each exterior fence or wall.
  - Lot number, block number, section number, and Builder name must be clearly printed on the first page of the submittal.

### C. Disclaimers

These Guidelines are intended to describe a general level of conformance for development. The Guidelines and the procedures set forth herein may be modified or waived from time to time by the ARC and do not supersede compliance with applicable federal, state, county, or local laws and regulations. All structures must conform to any state or local building codes, zoning ordinances, or other governmental regulations. Neither the Declarant, Developer, ARC, nor their individual members, partners, employees, agents, or the successors or assigns of any of them shall be liable in damages to anyone submitting to them for approval of any plans and specifications or request for variances from the Guidelines, or to any owner or occupant of any parcel of land affected by the Guidelines, or to any third party, and the submission of plans or requests constitutes an express waiver and release of these third parties to the fullest extent permitted by law.

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## II. Site Planning

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### A. Minimum Building Setbacks

Site plans must conform to restrictions set forth in the Declaration of Covenants, Conditions and Restrictions for Cedar Woods (the "Declaration") recorded under Clerk's File 2013123090 of the Official Records of Real Property for Montgomery County; the recorded subdivision plat which shows building setback lines; easements dedicated by separate instruments; and all applicable government ordinances. In some cases, different setbacks may be enforced by deed restrictions, neighborhood architectural guidelines, and/or the ARC for aesthetic reasons. Developer reserves the right to modify setback requirements.

Front yard building setback lines will be in accordance with the recorded plat. The side yard building setbacks are five (5) feet and the rear yard building setback is ten (10) feet, or the width of the utility easement, whichever is greater. All setbacks shall be measured to the edge of building walls and not to the edge of the respective overhangs.

Front and side setbacks of lot varying sizes shall be determined on an as-needed basis and incorporated into these Guidelines by addendum.

**B. Lot Coverage**

Total site coverage of building, walks/sidewalks, patios and driveways may not exceed 45% for two-story homes and 55% for one-story homes. These percentages are approximations and apply to all areas within the property lines.

**C. Square Footage & Dimensions**

The following table represents the minimum and maximum square footages for each product line in Cedar Woods. These guidelines are greater than the minimums required in the Declaration. (Nominal Slab Width is ±6”).

| Lot Type | Nominal Slab Width | Minimum SF |         | Maximum SF |
|----------|--------------------|------------|---------|------------|
|          |                    | 1-story    | 2-story |            |
| 50'      | 34'11"             | 1,400      | 1,900   | No Maximum |
| 50'      | 39'11"             | 1,500      | 2,000   | No Maximum |

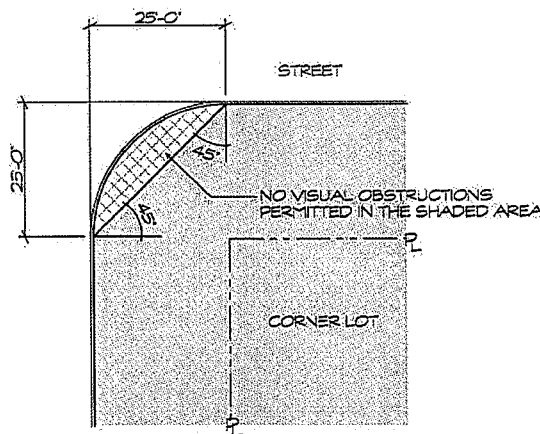
**D. Corner Lots and Intersections**

1. Corner Lots

Garages and driveways on corner lots shall be located adjacent to the interior property line not the property line adjacent to the side street. “Side out” garages to a side street are prohibited.

2. Intersections

An area of open space is required at all corner lots where intersections occur. These intersections shall be unobstructed to permit pedestrian and vehicular view when near an intersection. No trees or other potentially opaque landscaping is permitted in this area. This shall be twenty-five (25) feet in distance from each street at the corner [Figure 1].



**CORNER VISIBILITY**  
**Figure 1**

## E. Front Walkways, and Steps/Retaining Walls

### 1. Front Walkways

Front walkways should complement the architectural style of the home and its respective site. Walks must conform to the landscape and should not compete with the home in detail or attention. All homes must have a front walk from the street curb or driveway to the front door.

Front walks must be at least three (3) feet wide, but no wider than five (5) feet. Front walks should be at least 3½ inches lower than the front entrance landing in order to help avoid possible ponding problems in that area.

Concrete or brick pavers are the only permitted walkway materials.

### 2. Steps and Retaining Walls:

- a. Retaining wall height not to exceed eighteen inches (18"). If greater wall height is needed, multiple 18" high walls are acceptable. Any retaining must be *Windsor Stone*<sup>®</sup> in "Sandstone" or equivalent, Taller retaining walls must be approved by the ARC.
- b. Front yard steps and retaining walls to integrate with the overall design of the front yard.
- c. Materials to match exterior building materials of home and shall be brick or stone.

## F. Garage and Driveway Locations

### 1. Garages:

- a. All homes in Cedar Woods must have a minimum two-car front-facing attached garage.
- b. Garages must not extend further than 20'-0" beyond the front face of the home.

### 2. Driveways:

- a. Design: All driveway designs are subject to review by the ARC.
- b. Location: A driveway master plan for a development section may be provided by Developer. Location variances may be requested in writing and must include justification for deviating from the desired driveway location (such as construction conflicts of inlets, fire hydrants, flushing valves, manholes, etc.).
- c. Curb Conditions: Where four (4) inch mountable curbs are utilized, no saw cuts are permitted. Where six (6) inch barrier curbs are utilized, in accordance with city or county standards, saw-cut street and curb and tie in driveway steel. Builder is solely responsible for realigning grade of the gutter flow line in accordance with regulations and shall repair damaged curbs and gutters which cause ponding water ("bird baths") resulting from their construction activities.
- d. Alignment: Driveway must be perpendicular to the street with a five (5) foot radius on driveway apron. The joint will be constructed in conformance to City of Conroe/Montgomery County requirements.
- e. Width: Driveway is to be seventeen (17) feet wide at front property line. Any variations are subject to ARC review and approval.
- f. Materials and Finish: Concrete or other masonry materials (e.g. interlocking pavers, and brick borders) relating to the architecture of the home and other site materials. Materials other than standard concrete must be submitted to the ARC for approval. Where the driveway intersects the sidewalk, the driveway finish may not continue through the sidewalk.

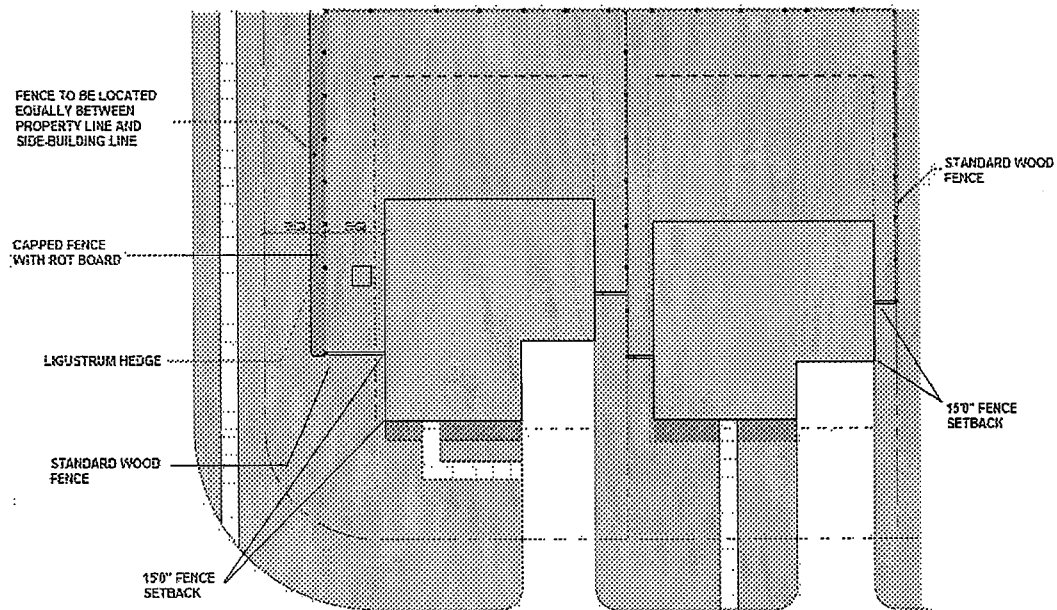
## G. Fences and Gates

### 1. Wood Fencing Guidelines:

- a. Materials: All wood fences are to be constructed with quality, new wood, consisting of treated pine posts and stringers, with posts on eight (8) foot centers and a minimum of two stringers. The top stringer shall be a maximum of 16'0" to prevent sagging. Pickets to be No. 2 grade 1" x 6" cedar. The installation of a "rot board" perpendicular to the fence pickets is approved and encouraged. No other materials are acceptable.

2 grade 1" x 6" cedar. The installation of a "rot board" perpendicular to the fence pickets is approved and encouraged. No other materials are acceptable.

- b. Height: Fences are typically limited to six (6) feet nominal measurement above natural grade net of any rot board. Builder may be required to construct eight (8) foot high fences where perimeter conditions warrant.
- c. Construction: [Figure 2, below]
- Interior Lots
    - Fence must be set back fifteen (15) feet from the front of the home. Dry utility services (electrical, phone, gas, cable) should be located in front of the fence. The air-conditioning unit(s) should be located behind the fence or screened from public view.
    - A "good neighbor" fence policy is required. Alternating sections are to occur at regular fence post intervals only, so that an entire panel is dedicated to one lot and the following panel is dedicated to the adjacent lot and so forth. In this manner, both lots receive approximately the same exposure to finished sides of a picket fence structure.
  - Corner Lots
    - Fence must be set back fifteen (15) feet from the front of the home. Air-conditioning unit(s) must be concealed behind the fence and not visible from the side street. However, dry utility services (electrical, phone, gas, cable) should be located in front of the fence.
    - The side fence must be located halfway between the property line and the building line. For example, if a corner lot building line is ten (10) feet, the fence must be located five (5) feet within the property, not on the property line. No variance will be granted for violating this provision.
    - The finished, or "picket" side of the fence is to face the side street. Construction shall be three-rail fence with a six inch rot board and a cap rail.



FENCE LOCATIONS SHOWING SIDE STREET SIDEWALK

Figure 2

- d. Special conditions:
- The finished side of a fence should always face the exterior or public side. Any exposures to greenbelts, ditches, or detention basins will be considered public view.



2. Gates
  - a. Gates shall be constructed with the same materials and quality as the adjoining fence. If the adjoining fence is ornamental steel, all hardware shall be painted the same color as the fence.
  - b. Pedestrian gates may not exceed forty two inches (42") in width.
  - c. Gates are not required but may be constructed for resident access to the adjoining public areas (e.g. greenbelts and public rights of way).

## H. Landscaping

*All landscaping will be warranted by Builder for a period of one (1) year from the date of closing. Builder shall endeavor to plant vigorous and healthy landscape materials. Builder shall audit the quality and quantity of planting materials prior to closing.*

### 1. Yard Trees:

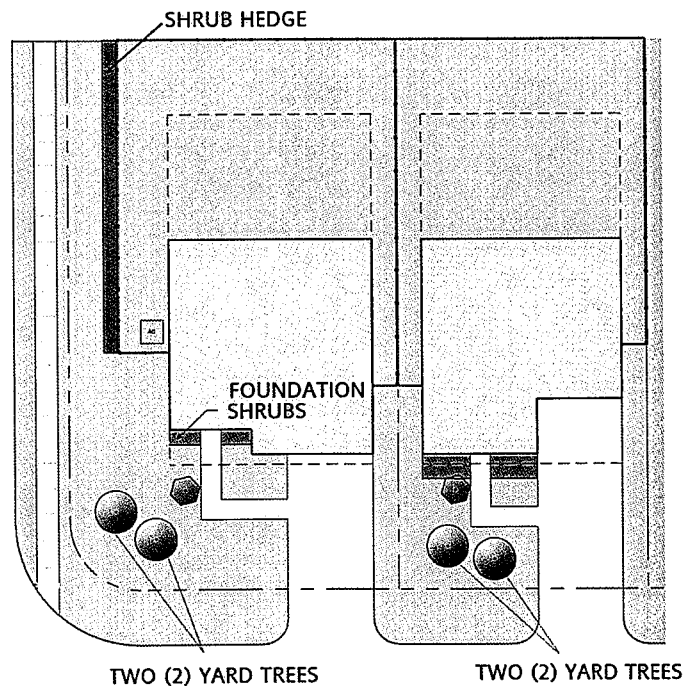
Yard Trees are trees located behind the curb line and in front of the main structure of the home. Two (2) Yard Trees are required for each yard and each tree must be a minimum of 45 gallon, container grown tree measuring two and one-half inches (2½") in caliper when measured twelve (12) inches above grade. Yard Trees may two (2) hardwoods (live oak, red oak or water oak) or one (1) hardwood and one (1) pine. Yard Trees must have a minimum height of eight (8) feet and a minimum spread of five (5) feet. **[Figure 3, Below]**

### 2. Other Vegetation:

In addition to the tree requirements above, individual lots must meet the following minimum requirements.

- a. At least thirteen (13) foundation shrubs per lot should be installed in the front yard with a minimum container size of five (5) gallons.
- b. At least one (1) vertical foundation accent shrubs per lot should be installed in the front yard with a minimum container size of fifteen (15) gallons.
- c. Corner lots must have a continuous ligustrum hedge along the side street fence.

### 3. Grass Coverage: All areas exposed to public view (public rights of way, greenbelt views) shall be solid-sodded with Saint Augustine grass.



**MINIMUM LANDSCAPING**  
**Figure 3**

## I. Lot Drainage

### 1. Type "A" and Type "B" Drainage

- a. Lots with Type "A" drainage achieve positive site drainage of  $\pm 1.0\%$  from the rear of lots to the street as dictated by the approved Drainage Plan.
- b. Lots with Type "B" drainage achieve positive site drainage by draining a portion of the lot to the rear of lot as dictated by the approved Drainage Plan.
- c. Unless otherwise approved in writing by the ARC, all drainage must follow the agency-approved Drainage Plan for the subdivision.

### 2. Additional Drainage

- a. When a home structure is in place on a given lot positive drainage is to be directed away from the home structure.
- b. Drainage runoff onto adjoining properties is prohibited, except as provided in the approved Drainage Plan.

### 3. Protective Swales & Localized Drainage

- a. The construction of protective swales is required on all lots.
- b. In the event the lots do not drain after the installation of swales, area drains may be required.

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## III. Architectural Design and Materials

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### A. Exterior Elevations and Materials

#### 1. Exterior Elevations

- a. The design of exterior elevations, especially those on corner lots, must not turn a "blind" elevation to any side street frontage.
- b. If shutters or other distinct architectural elements are incorporated into the design of the home, they should be featured on all elevations which face a street.
- c. Windows must occur on all street facing elevations of all homes.

#### 2. Repetition of Elevation

- a. If a plan is to be repeated with the same front elevation design, it must not occur more frequently than every fourth consecutive lot. Thus, where this situation exists, at least three other homes must occur between the next repeated front elevation. Brick and trim color in this situation must be different.
- b. If a plan is to be repeated with a different front elevation design, it must not occur more frequently than every second consecutive lot. Thus, at least one other home must occur between the next repeated floor plan with a different front elevation design. Brick and trim color must also be different.
- c. The ARC reserves the right to reject an elevation that closely resembles that of a nearby home or in any way detracts from the overall street scene. Additionally, identical uses in brick type and color, and siding color, are prohibited on homes that are adjacent to one another. Section I. Exterior Colors further details color requirements.

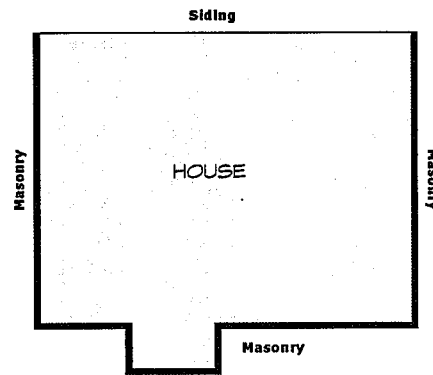
#### 3. Exterior Materials:

- a. Brick: Brick shall be hard-fired and have an overall appearance of relative evenness in color and texture. Brick colors are addressed in Paragraph I Exterior Colors.
- b. Stone Veneer: stone veneer may be natural cut stone or manufactured stone veneer such as Cultured Stone<sup>®</sup>.
- c. Siding: Where siding is used, it shall be fiber-cement, horizontal lap siding, eight inch (8") exposure (Hardiplank<sup>®</sup> Select Cedar Mill or equivalent). Diagonal siding, board and batten, and panel siding are prohibited. Wood, vinyl, metal, and particleboard are prohibited siding materials. Siding colors are addressed in Paragraph I Exterior Colors.

- d. Trim: All trim shall be smooth/semi-smooth, high quality finish grade stock wood or fiber-cement (*Harditrim® Select Cedar Mill*, *Harditrim® Smooth*, or equivalent). Trim colors are addressed in Paragraph I Exterior Colors.

4. Masonry Coverage

- a. The front and both sides first floor of the home must be brick, stucco or stone veneer (collectively "Masonry") (i.e. "a three sided wrap"). [Figure 4, below]



FIRST FLOOR MASONRY COVERAGE

Figure 4

- c. On all two-story homes, the front elevation must be predominantly Masonry. No siding above brick ledges is allowable. The sides and back of the second story may be siding. However the use of a brick wrap on the second floor is encouraged

**B. Entrances and Windows**

All openings in a structure such as windows and doors should relate to each other on all elevations both vertically and horizontally. This should occur in some clearly defined order, and scattered or random placements should be avoided. Both entrances and windows should be in proportion as they relate to the building mass as a whole. All sides of a home should receive equal design consideration. Reflective glass is prohibited.

1. Entrances

Entrances should be the focal point of the elevation which they serve. Although two-story entryways are allowed, the creation of a focal point at the entry through the use of human scaled entry elements is suggested. Recessed or protruded one-story elements add to the architectural detail of the home. Regardless of the scale selected, entrances should always relate to the overall architectural character and quality of the home. Siding is not allowed in the front entry.

2. Windows

Windows, like entrances, should be compatible with the overall building mass and architectural character and quality of the elevation.

If shutters are incorporated as part of the design, they should be appropriately scaled to relate to the window opening and appear authentic. They must also always occur in pairs. The shutter color must harmonize with the other colors on the home. Where shutters are used on a home located on a corner lot, they should occur on the side street elevation as well as the front.

Windows on the front elevation (first and second floors) must be consistent with the design of the elevation of the homes. Windows on other elevations may be divided lite or single pane, bronze or white bronze.

## C. Roof Treatment and Overhangs

### 1. Materials

25-year warranty, three-dimensional composition asphalt shingles in earthtone colors. All shingles within a given neighborhood shall be the same color.

### 2. Form

- a. Roof pitches should be applicable codes, but must be a minimum of 8 in 12 when viewed from the front of the home and 6 in 12 when viewed from the side of the home.
- b. The roof height should not exceed  $\frac{3}{4}$  of the total elevation area for single story homes and  $\frac{1}{2}$  the total elevation area two story homes.
- c. Fascia depths should be in scale with the mass of the elevation, but the face of the fascia board must be at least six (6) inches (nominal) in size.

### 3. Overhangs

Overhangs should be compatible with the architecture of the home and function as shading devices. Care should be taken not to exaggerate their lengths or provide too small an overhang. Overhangs should be more pronounced on eave conditions while rake conditions should receive a much more moderate overhang.

### 4. Roof Penetrations

Roof vents, utility penetrations, or other roof protrusions must be painted to match the singles. Skylights should not be visible from the front street.

### 5. Gutters & Downspouts

- a. Gutters and downspouts should be strategically placed to minimize their visibility to the front street. Preferably, downspouts should occur only at the rear and sides of a home. Placement on the front elevation should be avoided as much as possible, but may be used to avoid water runoff at front entrances.
- b. Gutters and downspouts must match or be very similar to the color of the surface to which they are attached. Downspouts must be installed vertically and in a simple configuration. All gutters and downspouts on standard lots must be installed so water runoff does not adversely affect adjacent properties.

### 6. Exposed Roof Metal /Antennas

- a. All exposed stack vents, skylight curbs, attic ventilators, and other metal roof accessories shall match or closely resemble the roofing color.
- b. All stack vents and attic ventilators shall be located on the rear roof slopes perpendicular to the ground plane. They shall not be visible from public areas and should be placed in a location which is least visible from adjoining property.
- c. Roof-mounted ventilators shall be no higher than 10 inches above the roof surface.

## D. Chimneys

### 1. Location

If a chimney occurs in an interior portion of the roof (not an external home edge) or at the rear or non-corner side of a home, it must be constructed of materials that match the architectural style and color of the home. Metal flues, stucco, wood sided chimneys are permitted in these locations. Cladding metal flues with masonry, brick, wood, or fiber-cement is preferred if metal flues are to be used.

### 2. Spark Arrestors

Spark arrestors and caps are required on all chimneys. The spark arrestor and cap should be unadorned, non-ornamental and designed to match or be compatible with the color and material of the exterior elevations of the home. Caps must be of metal or masonry construction.

3. Height

Heights of chimneys should meet all fire code requirements and be proportional to the roofline of the home. Metal chimneys, if used, shall not exceed a maximum exposed height of 6 inches of chimney pipe nor a maximum height of 18 inches of total exposed metal including both chimney pipe and cap.

**E. Garage Doors**

Two single doors are preferred over a double door design where garages are two-car, front-loaded and attached. The two single doors are less likely to dominate the front facade or to appear as a blank wall.

Additionally, garage doors should be relatively unadorned while remaining compatible with the architecture of the home and elevations. Panel doors are encouraged to help downscale the effect of a garage door.

**F. Address Identification**

1. Visibility

The address number must be visible from the street. The scale of the address number may vary according to the scale of the home, but may be no larger than 6 inches in height and must be placed in a horizontal line.

2. Style

No particular letter type style is required, but numbers must be Arabic and must be easily readable from the street.

3. Location

The number for address identification should be inset into the brick either next to the front door or on the front of the home. Internally-lit address numbers are not permitted.

**G. Lighting**

The type, color, and quality of all exterior site and home lighting must be consistent with other existing lights on the property and in the neighborhood of the respective home.

**H. Screening**

1. Wood Fences

All wood fences exposed to permanent public view must be constructed in accordance with these Guidelines and screened with a combination of trees and shrubs.

2. Mechanical Equipment

Air conditioning compressors are not permitted outside of fences on the side streets of corner lots.

**I. Exterior Colors**

1. Masonry:

- a. Brick colors should generally be of an earthtone family or range. No one brick color family should dominate a particular street scene. Very dark colored brick is discouraged.
- b. Repetition of brick uses should occur no more frequently than every fifth home.
- c. Brick for homes on consecutive and facing lots must vary in order to avoid monotony. Variety in brick use is highly encouraged.

2. Siding and Trim:

- a. The variety and number of exterior colors on each home should be held to a maximum of three not inclusive of brick color or front door color. Exterior paints and stains for each residence shall be selected to complement or harmonize with the colors of the other materials with which they are used. The general intent is to encourage greater variety among homes along the street.
- b. Siding and trim should generally stay within the earthtone color family. The use of white is also permitted. Extremely bold or primary colors, however, are prohibited.
- c. Yellow, blue, or green pastels are discouraged unless part of an overall concept. However, soft and muted earthtone pastel colors like grey, beige, brown, salmon, etc., are acceptable.
- d. Likewise, trim color and/or field color must also vary. The ARC will determine whether consecutive or relatively consecutive homes' brick colors or trim colors are similar enough to deny their adjacency.

**J. Security Devices**

Security devices such as sirens and speaker boxes should be the minimum size needed to be effective and should be located unobtrusively. "Burglar bars" are prohibited. If security devices are being considered for a home, the Builder must utilize a device which is not visible to public view and preferably mostly contained within the home.

**K. Solar Panels**

A Solar Panel (or Solar Module) is a packaged interconnected assembly of solar cells, also known as photovoltaic ("PV") cells. The Solar Panel can be used as a component of a larger photovoltaic system to generate and supply electricity to individual residences on a Lot. To be approved as a Solar Panel, the installation must produce Alternating Current ("AC") for the use on a Lot or Single Family Residence ("Residence") on the Lot. It is expressly recognized that the Solar Panels may generate excess electricity which may be sold by the Owner back to their electrical provider.

1. Mounting Location

Solar Panels may be mounted on roof surfaces with back lot and/or side lot exposure. Solar Panels may not be mounted on any pergola or outbuilding. In no case may any Solar Panel be mounted on any roof surface parallel to the front street (i.e. the street of address) of any Residence.

2. General Product Specification.

Solar Panels mounted on the roof of a Residence are to be black in color, with a low-profile mount allowing no more than four inches (4") between the roof shingles and the base of the Solar Panel. The ARC reserves the right to maintain a list of approved Solar Panels for roof installation. Typical installation shall be a single array on one roof surface. In cases where a residence may have limited southern exposure, two separate arrays may be employed.

3. Solar Shingles.

Solar Shingles are solar cells designed to look like conventional asphalt shingles. Solar Shingles are approvable for installation subject to the restrictions of use for Solar Panels. The ARC reserves the right to approve colors for Solar Shingles.

**IV. Model Homes/Model Home Park**

**A. Model Home Layout**

1. Modifications

Realizing that model homes will function as sales offices, modifications to the finished product that would actually be sold is expected. However, Builders are expected to emulate as closely as possible the end product that a consumer can expect to receive.

Before sale by the Builder, all modifications (e.g., front yard fencing, atrium doors in lieu of overhead garage doors, floodlights, etc.) must be removed and the unit restored to its standard appearance.

2. Yard Lights

Each model should have, unless otherwise specified by the ARC, yard lights installed that will illuminate the model homes during the period from dusk to 10:00 p.m. The Builder may employ other types of illumination upon approval of the ARC.

3. Fencing

Fencing on sales models will always be of an iron/metal material of a standard configuration where it is adjacent to front yards. Fences will always permit view of the home and into the lot from the street. Model home fences should never exceed four (4) feet in height in the front yard. Wood fencing is allowed in the rear yards of model homes. All fence designs must be submitted to the ARC for review and approval.

4. Flag Poles

A maximum of one (1) flagpole per model home site, per Builder will be allowed to display a U.S. Flag, a Texas Flag, or Builder Flag.

The flagpole should be one-piece construction of brushed anodized aluminum not to exceed 35 feet in height. The pole should be capable of withstanding local wind velocities.

The length of the flag should be approximately one-fourth the height of the pole on which it is mounted. Building-mounted flagpoles are not permitted. Flags and/or poles must be replaced when they become faded or worn.

**B. Maintenance: Model Home Exteriors and Landscaping**

1. Model Homes Exterior

Exterior of model homes should be kept in a new and fresh condition. Doors, siding, and trim are to be kept clean and painted when necessary. If, in the opinion of the ARC, areas of a model home require refurbishing, the ARC will give the respective Builder two weeks' notice in writing in which to correct the deficiencies.

2. Landscaping

The front and rear yards of all model homes are to be landscaped including fully sodded yards and foundation plant material. Front yard and street trees will be planted in accordance with previously promulgated rules of the ARC and these Guidelines. A minimum of one (1) rear yard tree is required.

**C. Model Home/Builder Signage**

One (1) yard sign per lot is allowed for the purpose of advertising a particular Builder name or to advertise the property for sale or rent. No additional sign, advertisement, billboard, or advertising structure of any kind shall be displayed to public view on any lot.

Builders will be allowed one (1) yard sign per Builder, per Model Park. The sign may be a maximum of 32-sq. ft. in area. Base landscaping is required. The sign will be allowed for a period of time commensurate with the model homes sales program only. Model identification signs may not exceed three (3) square feet. In addition, one sign no larger than three (3) square feet may be used to indicate whether a model home is open/closed and the hours of operation only. This sign must be close to the front door.

*The ARC has the right to remove any sign, advertisement, billboard, or advertising structure which is in violation of these restrictions. All model home signage packages must be submitted to the ARC for review and approval.*

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12/31/2013 2:49PM



COUNTY CLERK  
MONTGOMERY COUNTY, TEXAS

STATE OF TEXAS  
COUNTY OF MONTGOMERY  
I hereby certify this instrument was e-FILED in  
file number sequence on the date and at the time  
stamped herein by me and was duly e-RECORDED in  
the Official Public Records of Montgomery County, Texas.

12/31/2013



County Clerk  
Montgomery County, Texas